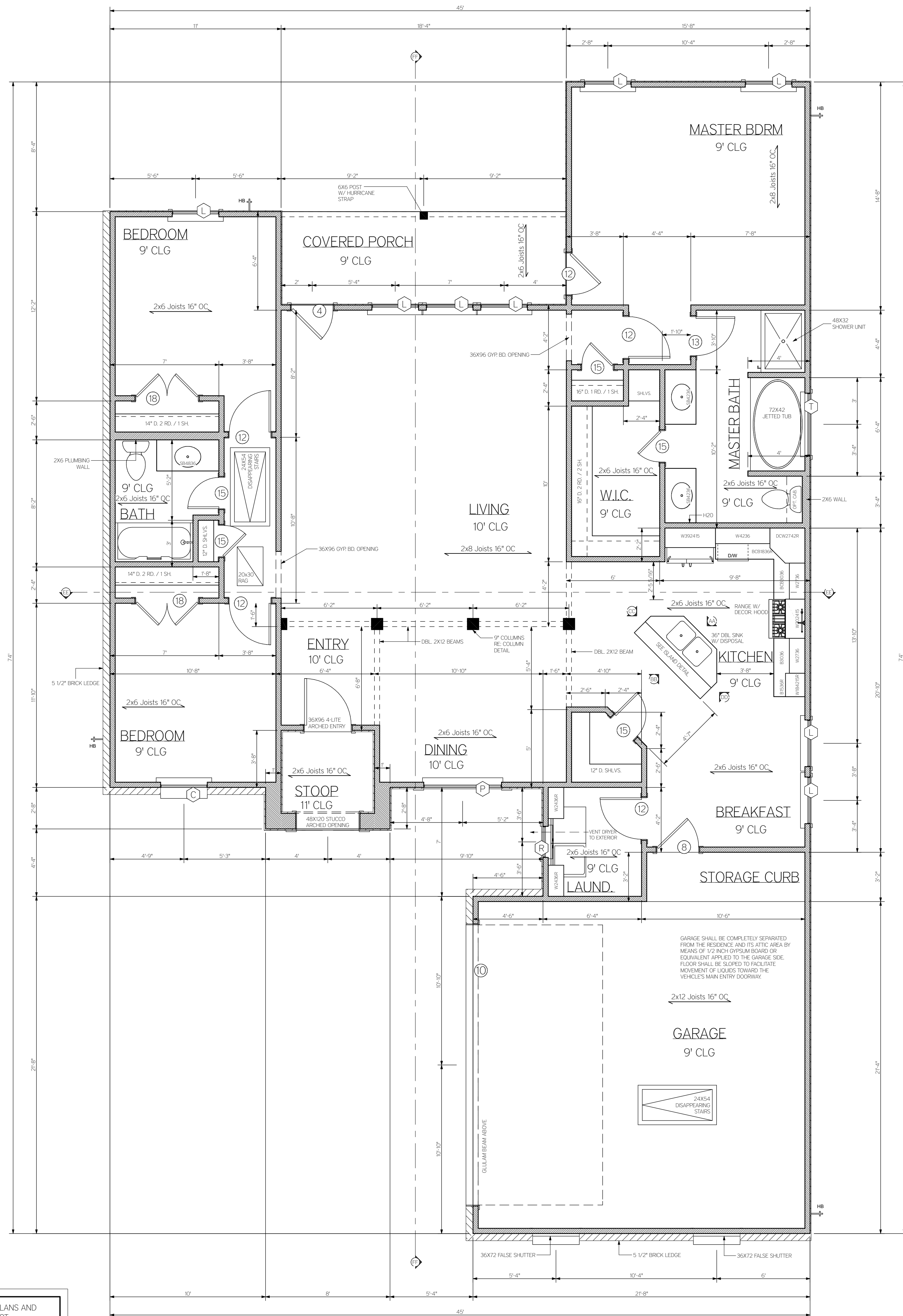
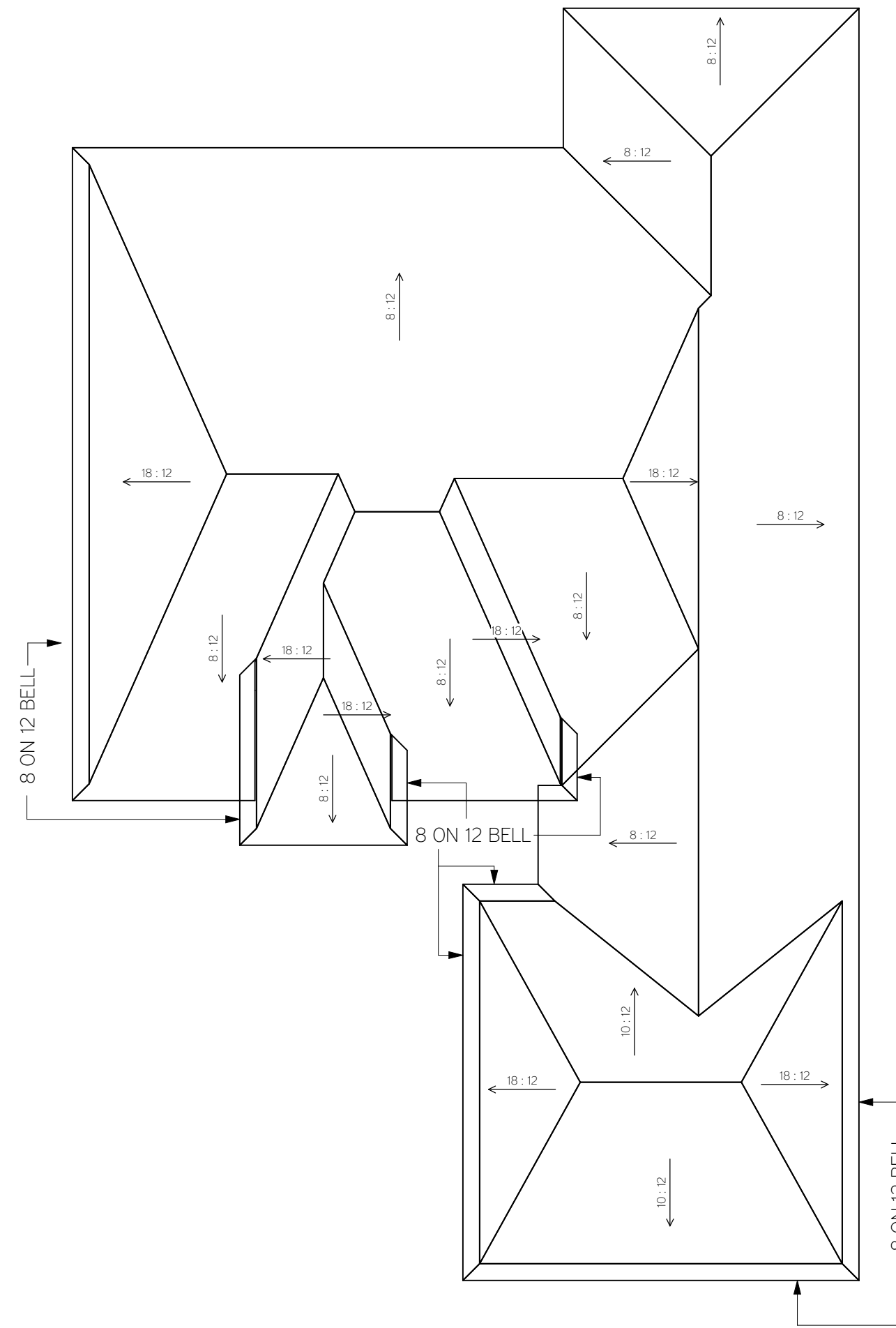


BUILDER SHALL BE ALLOWED TO DEViate FROM PLANS AND SPECIFICATIONS GIVEN THAT SAID CHANGES DO NOT ADVERSELY AFFECT STRUCTURAL OR DESIGN INTEGRITY. BUILDER SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. PLAN SHALL REMAIN THE PROPERTY OF ITS DRAWER AND ARE RELEASED FOR THE SOLE RESIDENCE. NOTED ON ACCOMPANYING PLOT PLAN. ILLEGAL USE OF DRAWINGS WILL BE PROSECUTED.



FLOOR PLAN
SCALED AT 1/4" = 1'-0"



ROOF PLAN
SCALED AT 1/8" = 1'-0"

SQUARE FOOTAGE

LIVING AREA	1749
FRONT PORCH	45
REAR PORCH	110
TOTAL PORCHES	155
GARAGE/STORAGE	501
TOTAL BUILDABLE	2105 SQ FT

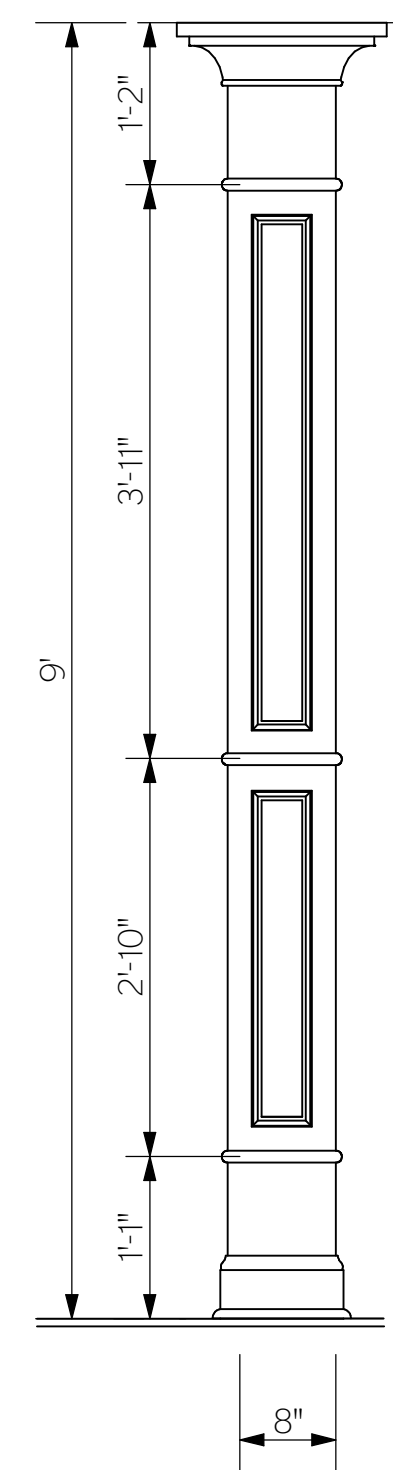
ROOF NOTES:
ALL ROOF PITCHES SHALL BE 8 ON 12 UNLESS OTHERWISE NOTED.

ALL ROOFING SHALL BE FIBERGLASS COMPOSITION ROOFING OR ASPHALT SHINGLES WHICH SHALL BE FASTENED ACCORDING TO MANUFACTURER'S INSTRUCTIONS TO SOLIDLY-SHEATHED ROOFS.

CONTINUOUS RIDGE VENTS SHALL BE AT ALL RIDGES SO THAT THERE EXISTS 1 SQ FT OF VENT FOR EVERY 150 SQ FT OF ATTIC AREA.

ROOF TRUSSES TO BE FASTENED TO TOP PLATE WITH HURRICANE STRAPS.

ROOF PROTRUSIONS SHALL BE LOCATED ON REAR ROOF SUFACES.



COLUMN DETAIL
SCALED AT 3/4" = 1'-0"

LIABILITY DISCLAIMER:

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MODEL INFO:

The Pelican 1749 SQ FT

SHEET DESCRIPTION:

FLOOR PLANS / ROOF PLANS

DATE DRAWN:
M/D/YYYY

REV. DATE:
1/16/2020

DRAWN BY:
BART KLIBERT
10435 GRACE LANE
BATON ROUGE, LA 70817
FAX: 877-304-4302
PHONE: (225) 329-7635
STUDIOBART@OUTLOOK.COM

CHECKED BY:
BART KLIBERT

DRAWN FOR:
CLIENTS' NAME
& LAST NAME

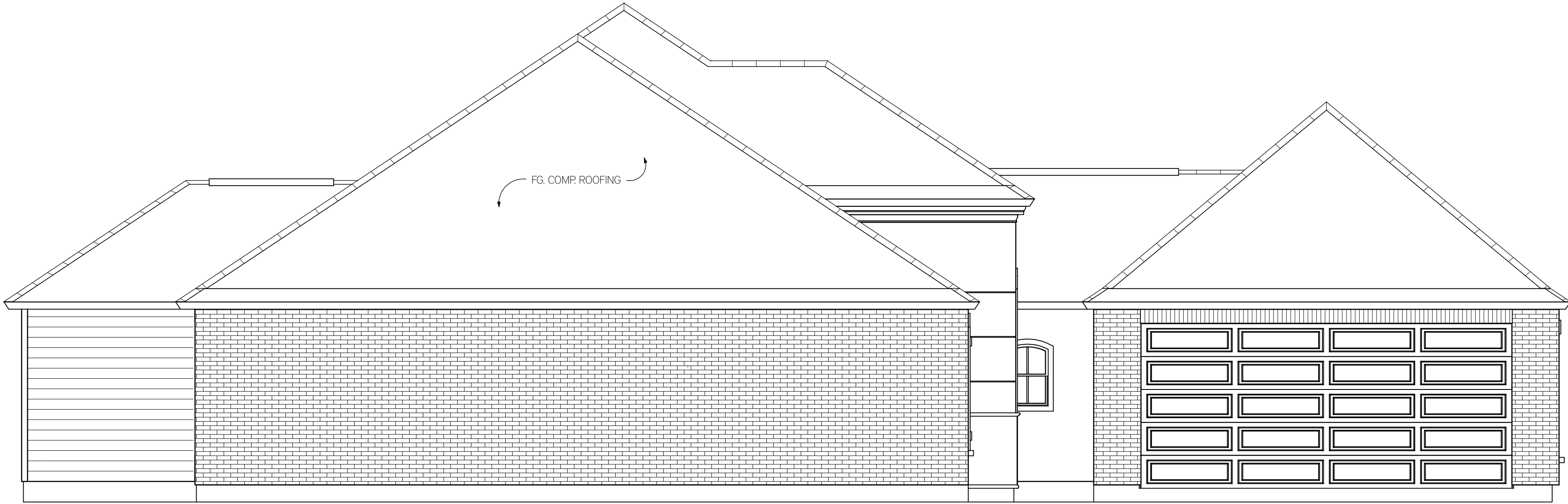
[SUBD. NAME] LOT ##-#
[STREET NAME]
BATON ROUGE, LA 70817



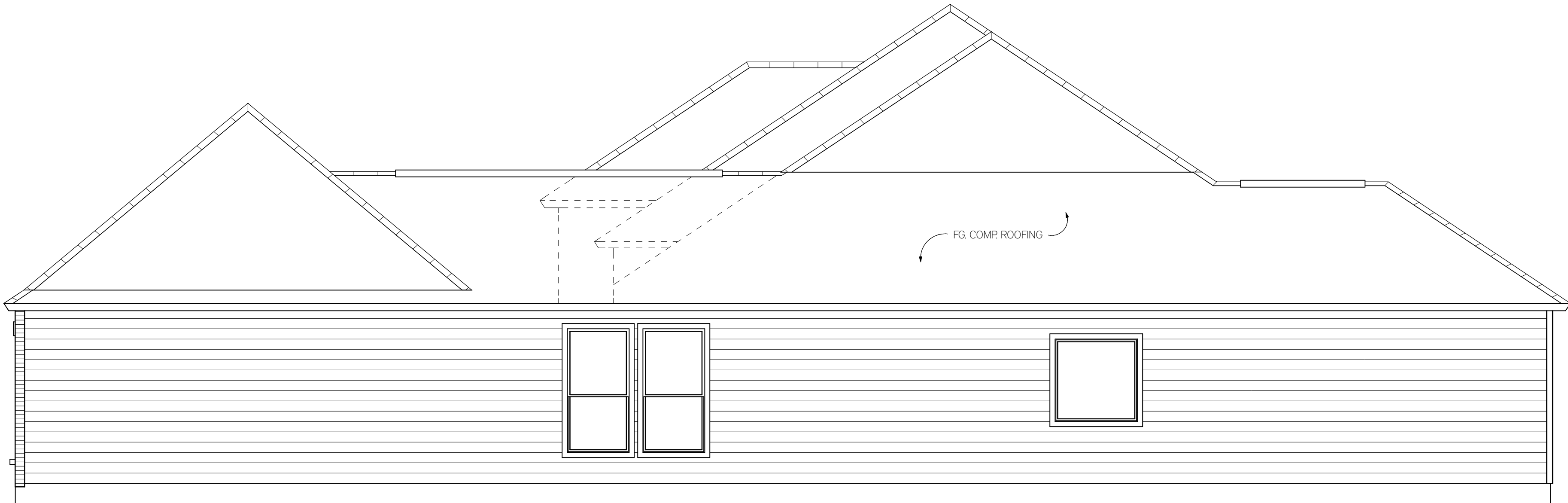
FRONT ELEVATION
SCALED AT 1/4" = 1'-0"



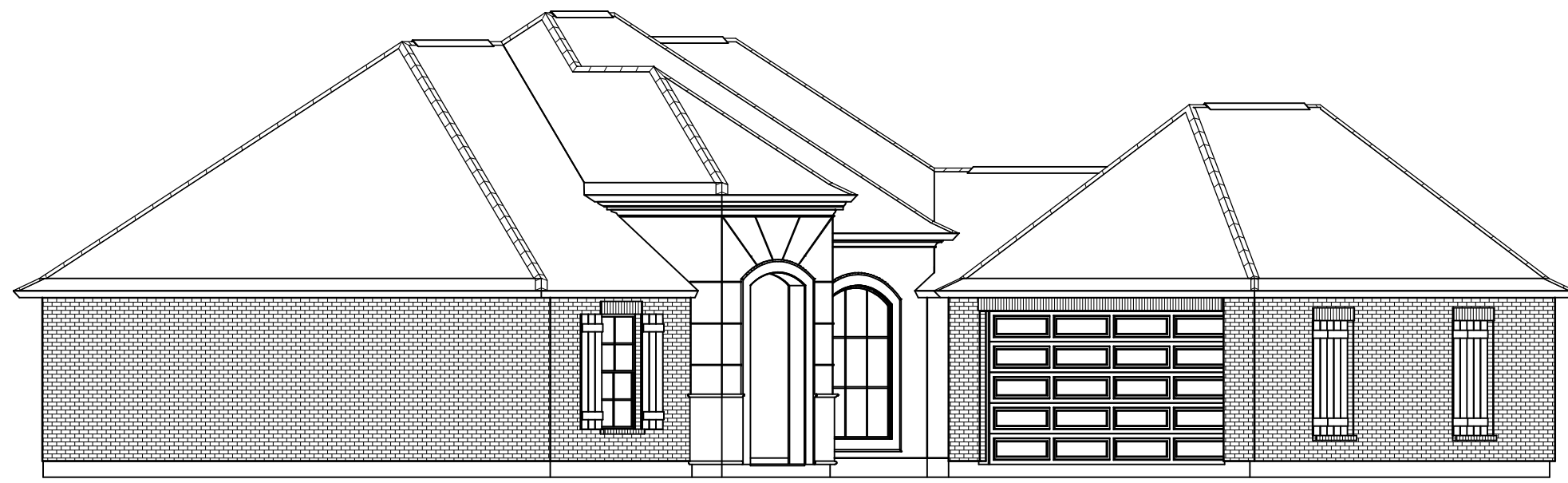
REAR ELEVATION
SCALED AT 1/4" = 1'-0"



LEFT SIDE ELEVATION
SCALED AT 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALED AT 1/4" = 1'-0"



FRONT/LEFT OBLIQUE
SCALED AT 1/8" = 1'-0"

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AT HIS OWN EXPENSE. PROOF TO CONSTRUCTION.

MODEL INFO:

The Pelican 1749 SQ FT

SHEET DESCRIPTION:

ELEVATIONS SHEET 1 OF 2

DATE DRAWN:
M/D/YYYY

REV. DATE:
1/16/2020

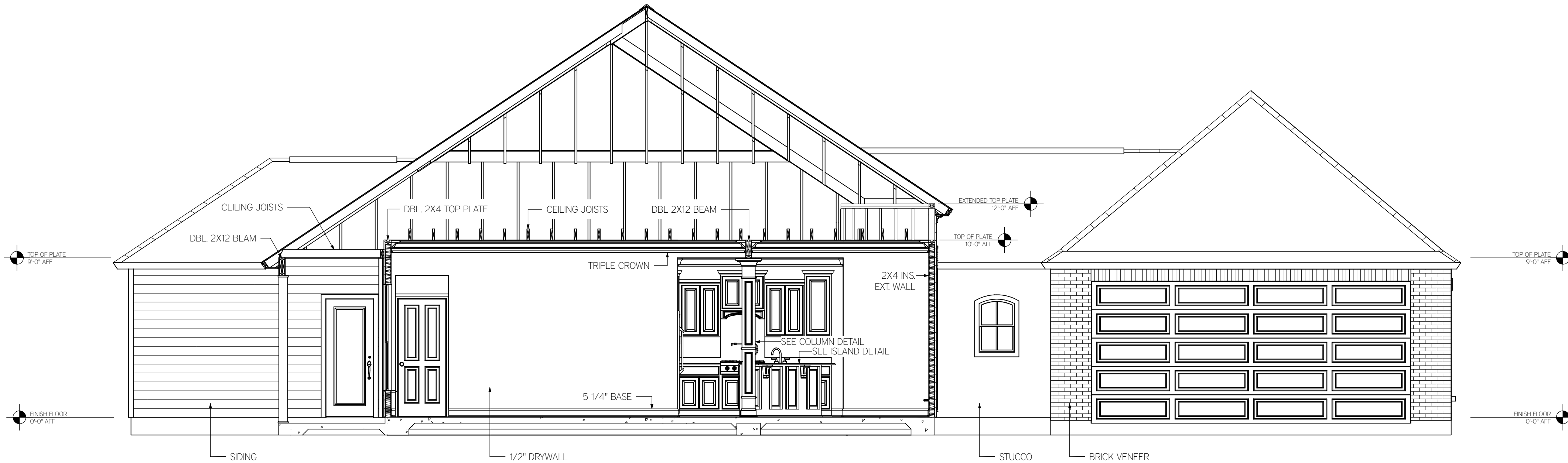
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DRAWN FOR:
CLIENTS' NAME
& LAST NAME

[SUBD. NAME] LOT ##-#
[STREET NAME]
BATON ROUGE, LA 70817

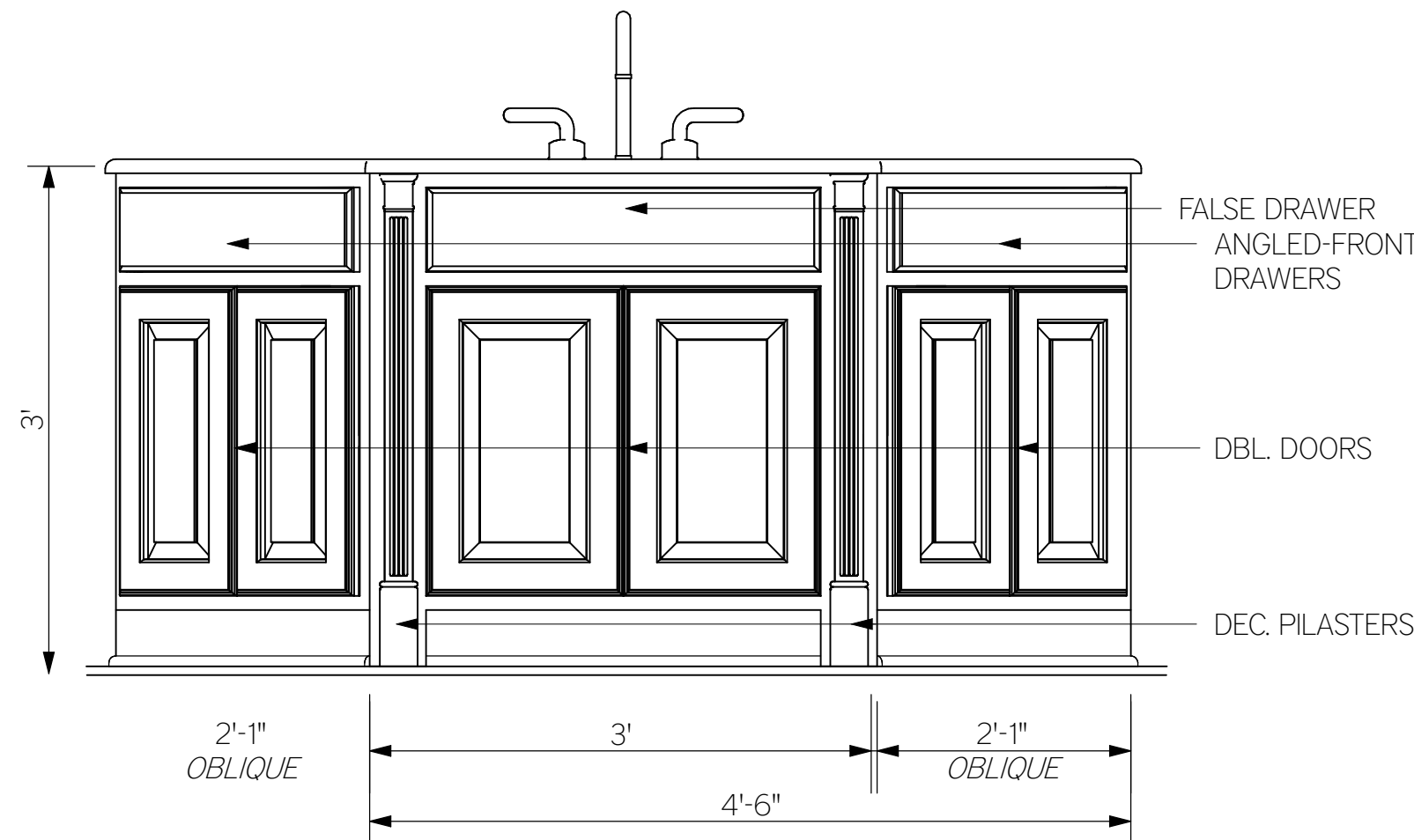
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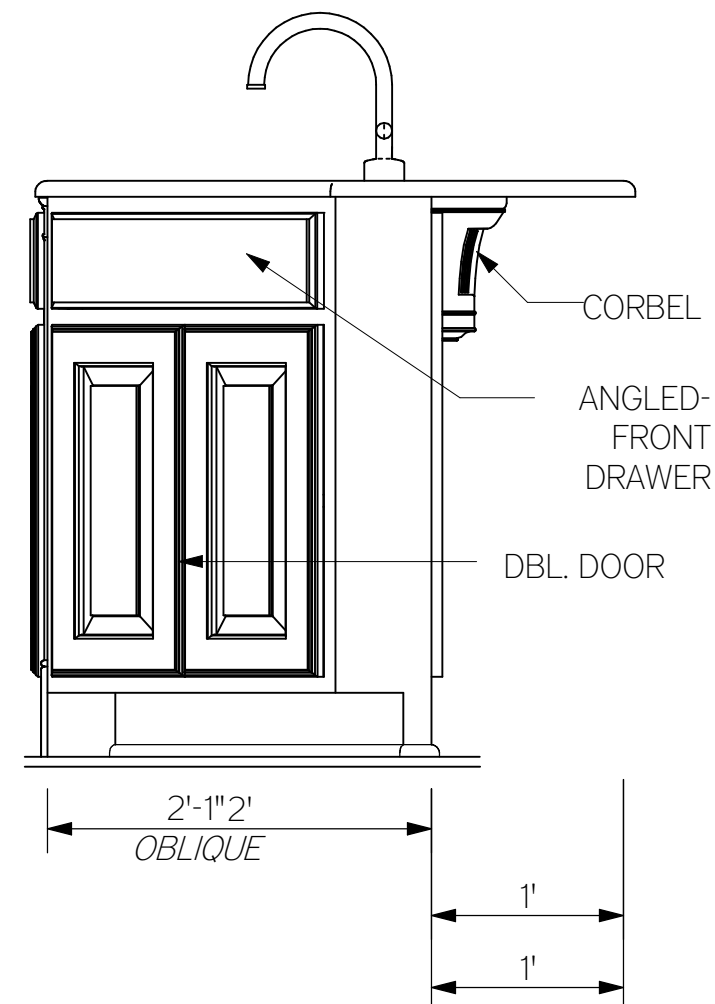
CROSS SECTION - FF
SCALED AT 1/4" = 1'-0"



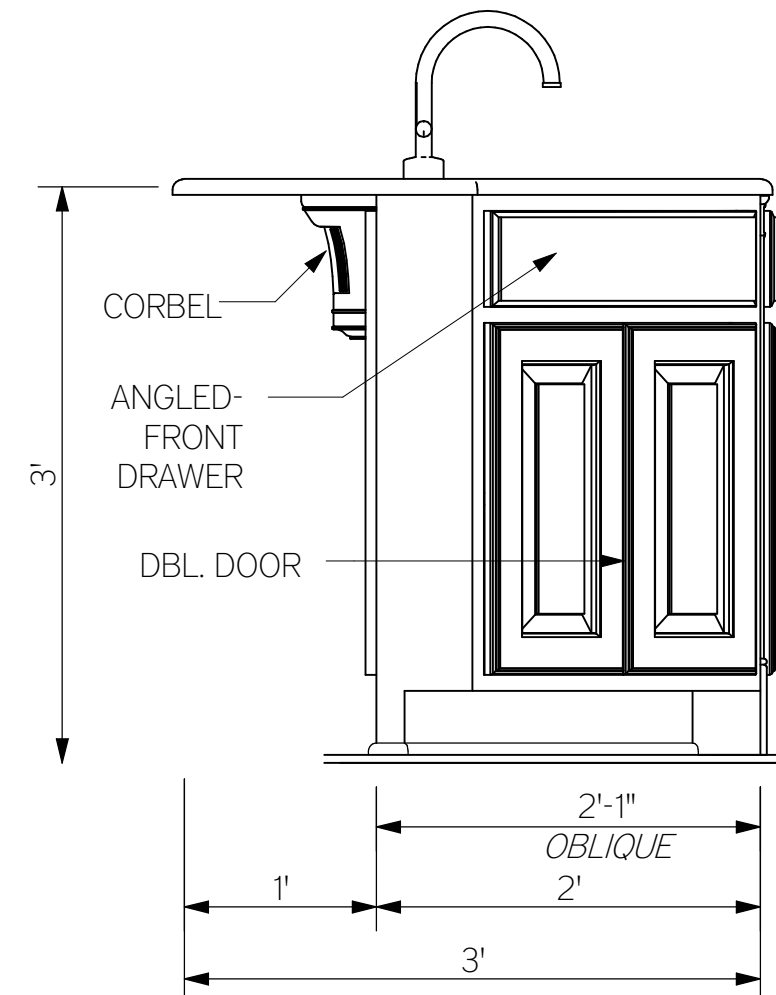
CROSS SECTION - EE
SCALED AT 1/4" = 1'-0"



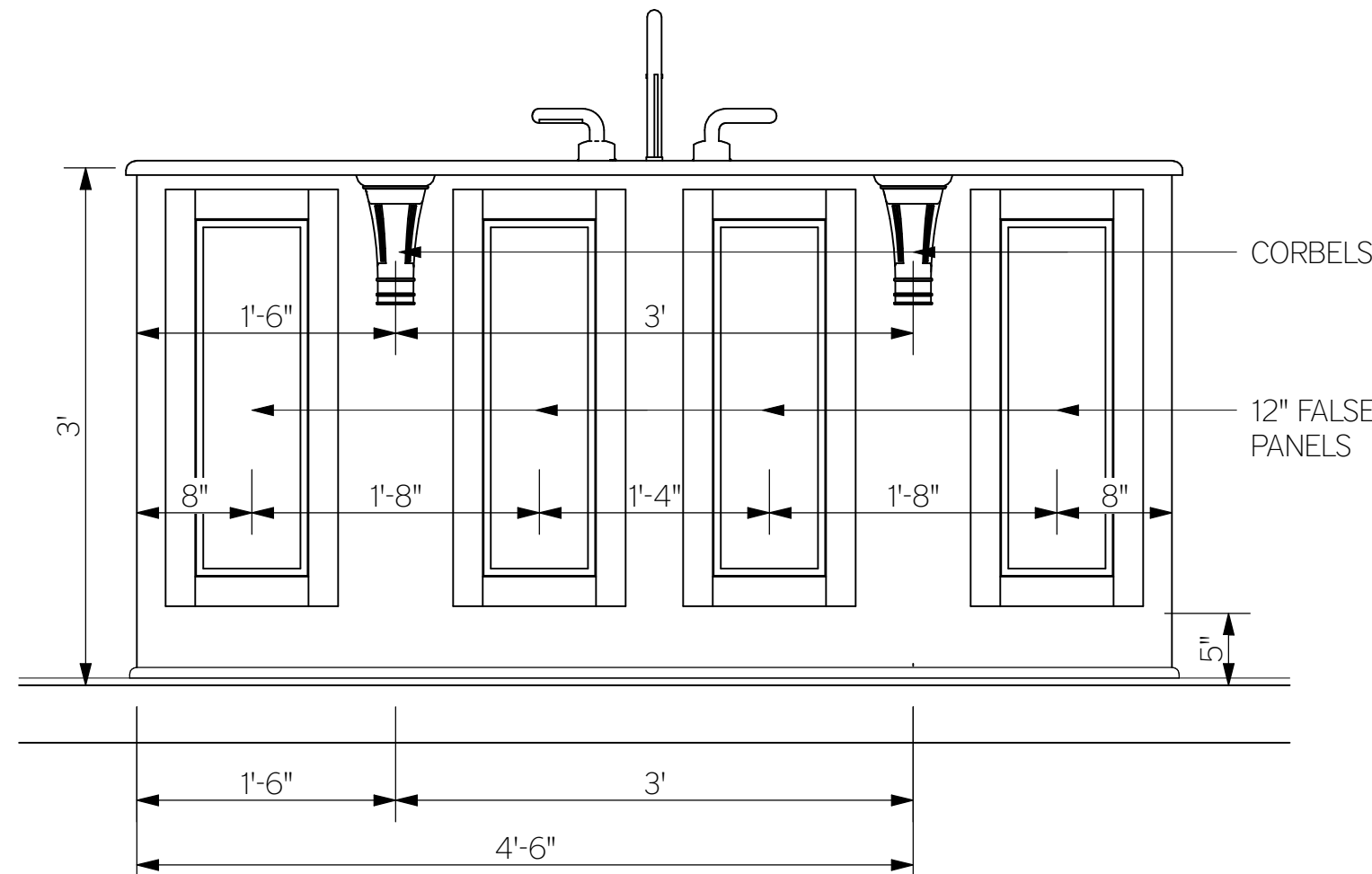
AA - ISLAND DETAIL
SCALED AT 1" = 1'-0"



CC - ISLAND DETAIL
SCALED AT 1" = 1'-0"



DD - ISLAND DETAIL
SCALED AT 1" = 1'-0"



BB - ISLAND DETAIL
SCALED AT 1" = 1'-0"

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MODEL INFO:

The Pelican 1749 SQ FT

SHEET DESCRIPTION:

CROSS SECTION VIEWS

DATE DRAWN:
M/D/YYYY

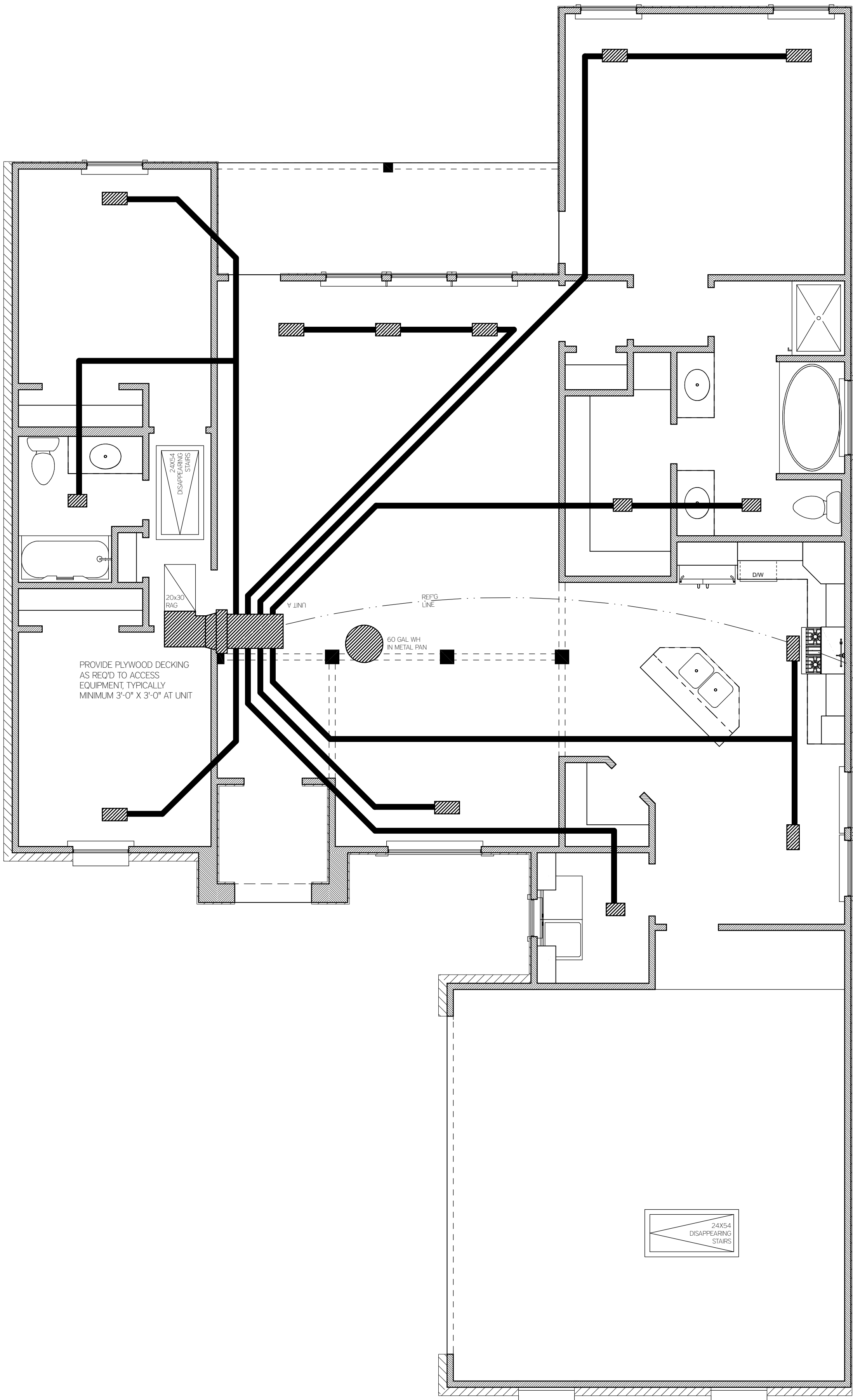
REV. DATE:
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& LAST NAME

[SUBD. NAME] LOT ##-#
[STREET NAME]
BATON ROUGE, LA 70817



HVAC NOTES:

UNIT "A"
HEATING: ELECTRIC, HORIZONTAL FLOW, ATTIC
INSTALLATION SIZED PER MANUFACTURER'S
RECOMMENDATION.

GENERAL HVAC NOTES:

1. RETURN AIR: CEILING MOUNT, WHITE; UNIT A = 20"X30"
2. COIL DRAINS CONNECTED TO PLUMBING WITH 1 1/2" P-TRAP.
3. DUCTS: 26 GA. GALVANIZED SHEET METAL WITH 20" INSULATION WRAP.
4. REGISTERS: 8X16, THREE-WAY DIFFUSER W/ SHUT OFF, WHITE
5. VOLUME CONTROL DAMPERS INSTALLED AT EACH BRANCH CONNECTION.
6. INSTALL DRAIN PAN WITH FLOAT SWITCH UNDER EVAPORATOR COIL.
7. COPPER REFRIGERANT LINES TO BE FITTED WITH FLEXIBLE INSULATION
8. INSTALLER SHALL VERIFY LOCATIONS OF ALL REGISTERS, DUCT ROUTING AND SIZING TO COMPLY WITH MANUFACTURER RECOMMENDATIONS.
9. INSTALLER SHALL BALANCE ENTIRE SYSTEM AFTER POWER PROVIDED AT RESIDENCE, BUT PRIOR TO OCCUPANCY.
10. INSTALL PLYWOOD WALKWAY AND SERVICE PLATFORM, TO BE A MINIMUM OF 30"X30" AT THE UNIT.

GENERAL MECHANICAL NOTES:

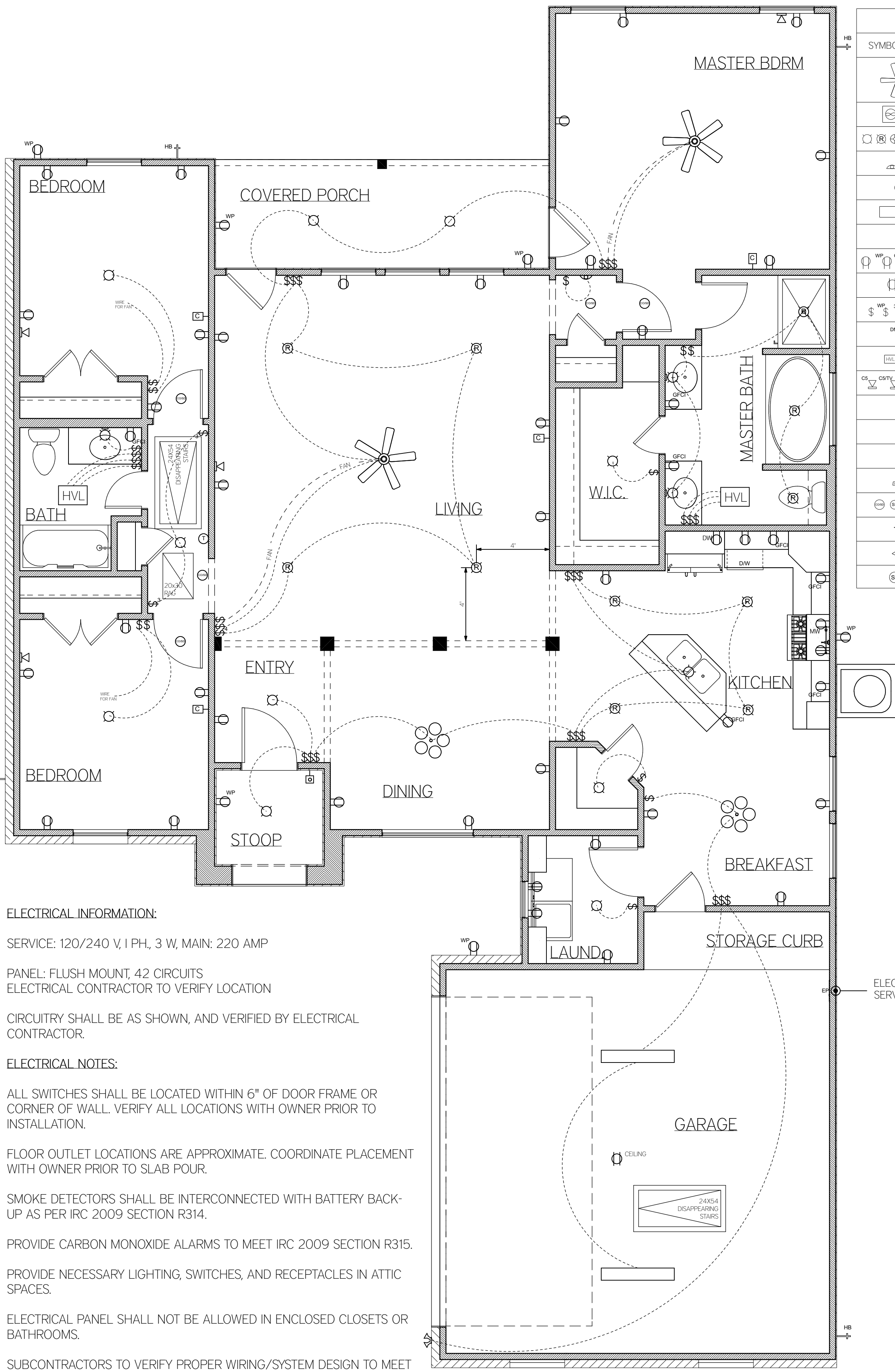
1. ALL VENTS, STACKS, AND ROOF JACKS SHALL BE LOCATED ON REAR ROOF SURFACE, PAINTED TO MATCH ROOF COLOR.
1. ALL VENTED KITCHEN HOODS SHALL VENT DIRECTLY TO THE EXTERIOR PER MANUFACTURER'S RECOMMENDATION AND PER IRC 2009 SECTION M1503.
2. ALL TOILET ROOMS SHALL BE EQUIPPED WITH MECHANICAL VENTILATION AND VENTED DIRECTLY TO EXTERIOR AS PER IRC 2009 M1507.
3. DRYER VENTS SHALL VENT DIRECTLY TO EXTERIOR AT LENGTHS NOT TO EXCEED THE REQUIREMENTS AS STATED IN IRC 2009 SECTION M1502.4.4.

WATER HEATER NOTE:

1. WATER HEATERS SHALL BE LOCATED AS SPECIFIED ON PLANS. LOCATION OF UNITS SHALL BE FIELD-VERIFIED AND BE READILY ACCESSIBLE AND VENTED AS REQUIRED PER IRC 2009.

HVAC PLAN

SCALED AT 1/4" = 1'-0"



ELECTRICAL INFORMATION:

SERVICE: 120/240 V, 1 PH, 3 W, MAIN: 220 AMP

PANEL: FLUSH MOUNT, 42 CIRCUITS
ELECTRICAL CONTRACTOR TO VERIFY LOCATION

CIRCUITRY SHALL BE AS SHOWN, AND VERIFIED BY ELECTRICAL CONTRACTOR.

ELECTRICAL NOTES:

ALL SWITCHES SHALL BE LOCATED WITHIN 6" OF DOOR FRAME OR CORNER OF WALL. VERIFY ALL LOCATIONS WITH OWNER PRIOR TO INSTALLATION.

FLOOR OUTLET LOCATIONS ARE APPROXIMATE. COORDINATE PLACEMENT WITH OWNER PRIOR TO SLAB POUR.

SMOKE DETECTORS SHALL BE INTERCONNECTED WITH BATTERY BACK-UP AS PER IRC 2009 SECTION R314.

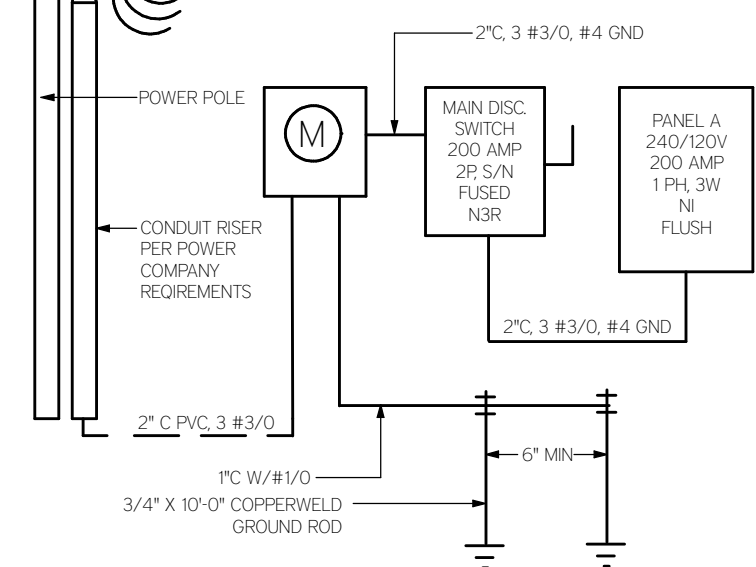
PROVIDE CARBON MONOXIDE ALARMS TO MEET IRC 2009 SECTION R315.

PROVIDE NECESSARY LIGHTING, SWITCHES, AND RECEPTACLES IN ATTIC SPACES.

ELECTRICAL PANEL SHALL NOT BE ALLOWED IN ENCLOSED CLOSETS OR BATHROOMS.

SUBCONTRACTORS TO VERIFY PROPER WIRING/SYSTEM DESIGN TO MEET ALL APPLICABLE CODES, PROPER OPERATION, INSTALLATION VALUE AND MANUFACTURER'S WARRANTIES.

TYPICAL RISER DIAGRAM (NOT TO SCALE):



ELECTRICAL PLAN

SCALED AT 1/4" = 1'-0"

SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	220V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	110V Receptacles: Ceiling/Eave, Floor
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Heater/Vent/Light, Vent/Light
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Carbon Monoxide: Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel
	Outdoor Dual Spotlight
	Speakers: Ceiling Mounted, Wall Mounted

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MODEL INFO:

The Pelican 1749 SQ FT

SHEET DESCRIPTION:

HVAC PLAN / ELECTRICAL PLAN

DATE DRAWN:

M/D/YYYY

REV. DATE:

1/16/2020

DRAWN BY:

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CHECKED BY:

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DRAWN FOR:

CLIENTS'

NAME

& LAST NAME

[SUBD. NAME] LOT ##-#
[STREET NAME]
BATON ROUGE, LA 70817

1. ASSUMED ALLOWABLE SOIL BEARING PRESSURE 2000 PSF
2. DRAINAGE: LOT SHALL BE PROVIDED WITH ADEQUATE DRAINAGE AND SHALL BE GRADED TO DRAIN ALL SURFACE WATER AWAY FROM STRUCTURE.
3. ALL CONCRETE SHALL BE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
4. ALL FOOTINGS SHALL EXTEND BELOW THE FROSTLINE INTO UNDISTURBED SOIL AND SHALL BE AT A MINIMUM, THE SIZE INDICATED ON THE DRAWINGS.
5. PROVIDE A MINIMUM OF 4" OF COMPACTED SAND, RIVER SILT OR WASHED GRAVEL FILL UNDER ALL CONCRETE SLABS.
6. REMOVE ALL VEGETATION AND ORGANIC SOILS FROM AREA OF BUILDING FOUNDATION AND CONCRETE FLOOR WORK PRIOR TO PLACEMENT OF FORMS.
7. ALL FOOTINGS SHALL BE 1'-4" UNLESS OTHERWISE DIMENSIONED ON DRAWINGS.
8. IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO PROVIDE THE SOILS TEST VERIFICATION WITH WRITTEN CERTIFICATION TO BOTH OWNER AND THE ARCHITECT. TESTING SHALL BE DONE PRIOR TO POURING OF FOUNDATION.
9. ALL SLABS SHALL BE TERMITE TREATED AND PROTECTED AS PER IRC 2009 CHAPTER 4. CONTRACTOR SHALL PROVIDE A 12-MONTH CONTRACTOR TO OWNER AT COMPLETION.

-

5 1/2"

1 1/2"

4"

SEE ANCHOR IN DETAIL "A"

STEEL TROWEL SMOOTH

6X6X10/10 WELDED WIRE MESH

4" MIN. COMPACT FILL

4"

24" MIN

(4) #5 BARS (CONTINUOUS)

6 MIL PVC VAPOR BARRIER

3"

16" MIN

RE: FOUNDATION PLAN

NOTE: NO ANCHORS AT PORCH EDGES AND GARAGE OPENING

SEE ANCHOR IN DETAIL "A"

STEEL TROWEL SMOOTH

6X6X10/10 WELDED WIRE MESH

4" MIN. COMPACT FILL

GRADE

24" MIN.

12" MIN.

3" MIN.

16" MIN.

(4) #5 BARS (CONTINUOUS)

6 MIL. PVC VAPOR BARRIER

RE: FOUNDATION PLAN

[illegible]

STEEL TROWEL SMOOTH

6X6X10/10 WELDED WIRE MESH

4" MIN. COMPACT FILL

GRADE

2 1/2" MIN.

3"

16" MIN.

(2) #5 BARS (CONTINUOUS)

6 MIL PVC VAPOR BARRIER

RE: FOUNDATION PLAN

3 1/2"

5 1/2"

1 1/2"

24" MIN.

12" MIN.

3"

3"

16" MIN.

4" MIN.

GRADE

SEE ANCHOR IN DETAIL "A"

MATCH CURB HEIGHT TO FF.

STEEL TROWEL SMOOTH

6X6X10/10 WELDED WIRE MESH

4" MIN. COMPACT FILL

(4) #5 BARS (CONTINUOUS)

6 MIL. PVC VAPOR BARRIER

RE: FOUNDATION PLAN

RE: FOUNDATION PLAN

This is a detailed electrical floor plan for a building. The plan shows the layout of rooms, including a kitchen, living area, and bedrooms. Key features include:

- Dimensions:** Overall dimensions are 45'-5 1/2" wide by 24'-5 1/2" deep. Room dimensions are provided throughout the plan.
- Conduit Runs:** Solid lines represent conduit paths. Labels include "CONDUIT TO FLOOR RECEPTACLE LOCATION TO BE VERIFIED WITH HOMEOWNER PRIOR TO FOUNDATION POUR", "CONDUIT TO ISLAND", and "CONDUIT TO ISLAND".
- Equipment and Fixtures:**
 - Receptacles:** Indicated by circles with a dot and a number (e.g., 4", 0", 4").
 - Switches:** Indicated by a circle with an 'S'.
 - Lighting:** Indicated by a circle with an 'L'.
 - Other:** Includes a "5 1/2\" BRICK LEDGE", "12\" CURB", and "FOUNDATION SLAB TO BE A MINIMUM OF 4\" THICK WITH 6X6X6/G GAUGE WIRE MESH OVER GAS VENT".
- Labels:** Various letters (A, B, C, D, E, F, G) are used to identify specific areas or components.

SCALED AT 1/4" = 1'-0"

SHEET:
5/5